

North Carolina, Buncombe County
 REGISTERED THIS THE 1 DAY OF MARCH
 AT 3:41 PM, RECORDED IN BOOK 187, PAGE 41
 BY: Dana Carlson REGISTER OF DEEDS
 BY: Cathy B. Cox DEPUTY ASSISTANT

CERTIFICATE OF APPROVALS

This final plat has been reviewed by the Buncombe County Planning and Development and meets the requirements for a minor subdivision. This approval shall be void unless the final plat is recorded in the office of the Buncombe County Register of Deed within 180 days from the date of approval.

G. Phillips
 County Planner
 3-1-2018
 Date

STATE OF NORTH CAROLINA
 COUNTY OF BUNCOMBE
 I, Gillian Phillips, Review Officer of Buncombe County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.

G. Phillips
 Review Officer
 3-1-2018
 Date

CERTIFICATE OF OWNERSHIP AND DEDICATION

I hereby certify that I am (we are) the owner(s) of the property shown and described hereon, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, and dedicate all road right-of-way and other sites and easements to public use as noted in the Disclosure of Private Roadways, where applicable.

Chris C. Bl
 Owner(s)
 3/1/2018
 Date

CERTIFICATE OF PRIVATE ROADS

The roads within this subdivision are designated private. The road maintenance agreement, in accordance with G.S. 136-102.6, is recorded in the Office of the Register of Deed for Buncombe County in Deed Book 5523, Page 923-924. Buncombe County Government shall not be responsible for maintenance or repair of the roads within this subdivision. I hereby certify that I am the developer and/or financially responsible party of this property shown and described hereon, and shall maintain said private roads and repair any deterioration, defects or defaults, including but not limited to subgrade, base course, or asphalt, until said roads are dedicated to a responsible party.

Chris C. Bl
 Developer/Financially Responsible Party
 3/1/2018
 Date

STATEMENT OF WASTE WATER TREATMENT AND WATER SERVICE

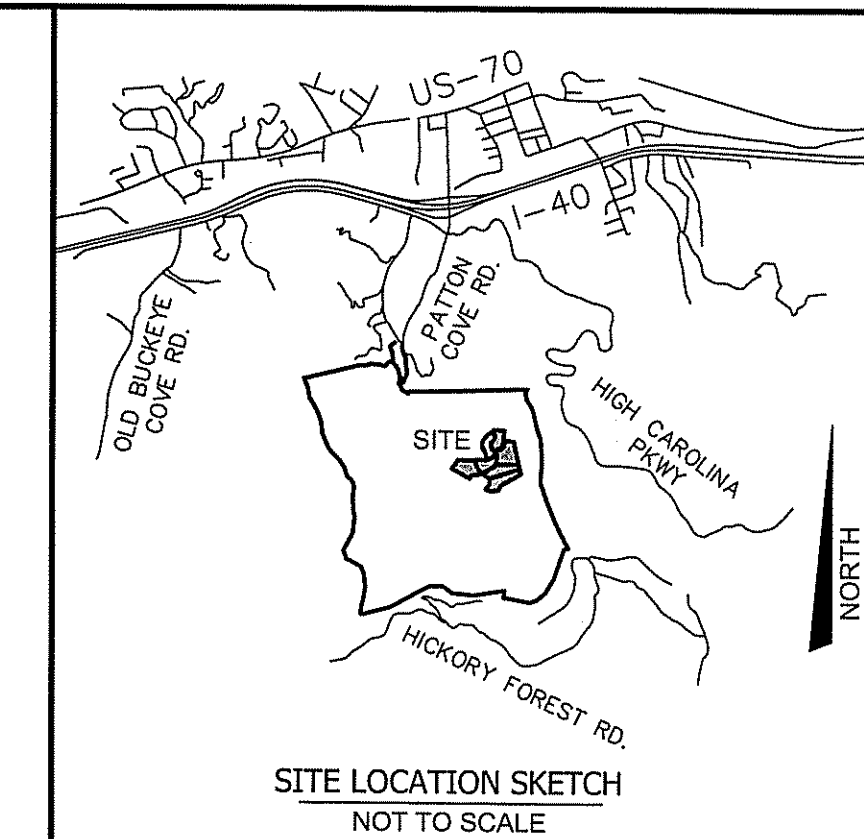
The waste water treatment and water service are provided by the individual parcel owners and Buncombe County Government shall not be responsible for maintenance or repair of said waste water treatment and water systems within this subdivision.

DEVELOPMENT NOTES:

- These lots are being recorded with a guarantee of cash surety of \$44,375.00 dated 2-15-18 and held by Buncombe County Planning Department Case Number 10P00000-#1103.
- This is a Hillside Development.
- All road alignments have not changed from previously approved plan.
- Lot configuration has changed from previously approved plan.
- All lots to be served by private well systems.
- All lots to be served by private onsite waste water systems.
- Buncombe County Zoning:
 - 7.1.1. PIN 9688-82-4991 = R-LD.
 - 7.1.1.1. Setbacks: Front & Side = 10'; Rear = 20'
 - 7.2. All subdivided lots are located on PIN 9688-82-4991.

PLAT NOTES:

- The bearings on this plat are NC Grid (NAD 83) bearings, and distances shown are horizontal ground distances unless otherwise noted.
- Area of parcels:
 - 2.1. Total Area of proposed subdivision (see plat of individual lot sizes) = 19.41 Acres or 845,455 square feet per deed (determined by coordinate computation method).
- All addresses are in Swannanoa, NC 28778.
- By graphic determination, the Subject Parcels are located in "Zone X" per FIRM map number 37009688001 dated January 6, 2010.
- Buncombe County GIS was used to determine adjoining owner information.
- Property subject to all easements, rights-of-way and restrictions of record.
- This plat was prepared without the benefit of a title report which may reveal additional conveyances, easements, rights-of-way or building restrictions. A North Carolina licensed attorney-at-law should be consulted.



GLOBAL POSITIONING SYSTEM CERTIFICATION (NC VRS-RTK)

I, Paul E. Sexton, certify that this map was drawn under my supervision from an actual GPS survey made under my supervision and the following information was used to perform the survey:

- Class of Survey: Class A Survey
- Positional Accuracy (95% Confidence): 0.03' Horizontal 0.06' Vertical
- Type of GPS Field Procedure: NC VRS-RTK Network Solutions Using Carlson BRX-S System
- Date of Observations: 9-30-16 to 9-1-17
- Datum/Epoch: NAD83/Epoch 2011
- Published/Fixed Control Used: Charlotte

I, Paul E. Sexton, Professional Land Surveyor certify to one or more of the following as indicated:

A. That this plat is of a survey that creates a subdivision of land within a county or municipality that has an ordinance that regulates parcels of land;

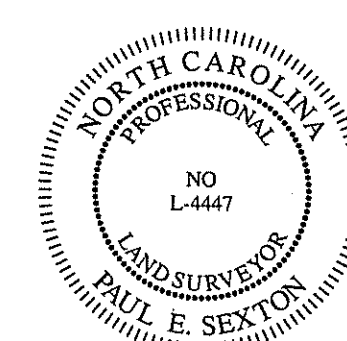
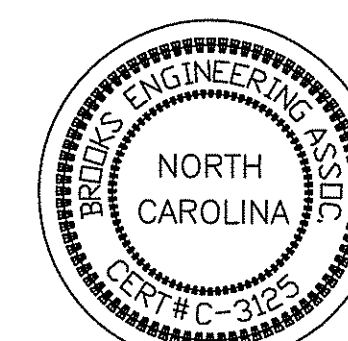
CERTIFICATE OF ROAD GRADES AND SUITABILITY

State of North Carolina, Buncombe County, I, Paul E. Sexton certify that the newly constructed road grades were calculated by me from an actual survey made by me and do not exceed eighteen (18) percent. Witness my original signature, registration number, and seal this 28th day of FEBRUARY, 2018.

Paul E. Sexton
 Professional Land Surveyor
 Certificate Number L-4447

I, Paul E. Sexton, certify that this plat was drawn by me from an actual survey made under my supervision (deed description recorded in Deed Book 5523, Page 1256); that the boundaries not surveyed are clearly indicated as drawn from information found in Book N/A, Page N/A; that the ratio of precision as calculated is 1:10000; that this plat was prepared in accordance with G.S. 47-30 as amended.

Witness my hand and seal this 28th day of FEBRUARY, A.D. 2018.
Paul E. Sexton
 Professional Land Surveyor
 Certificate Number L-4447



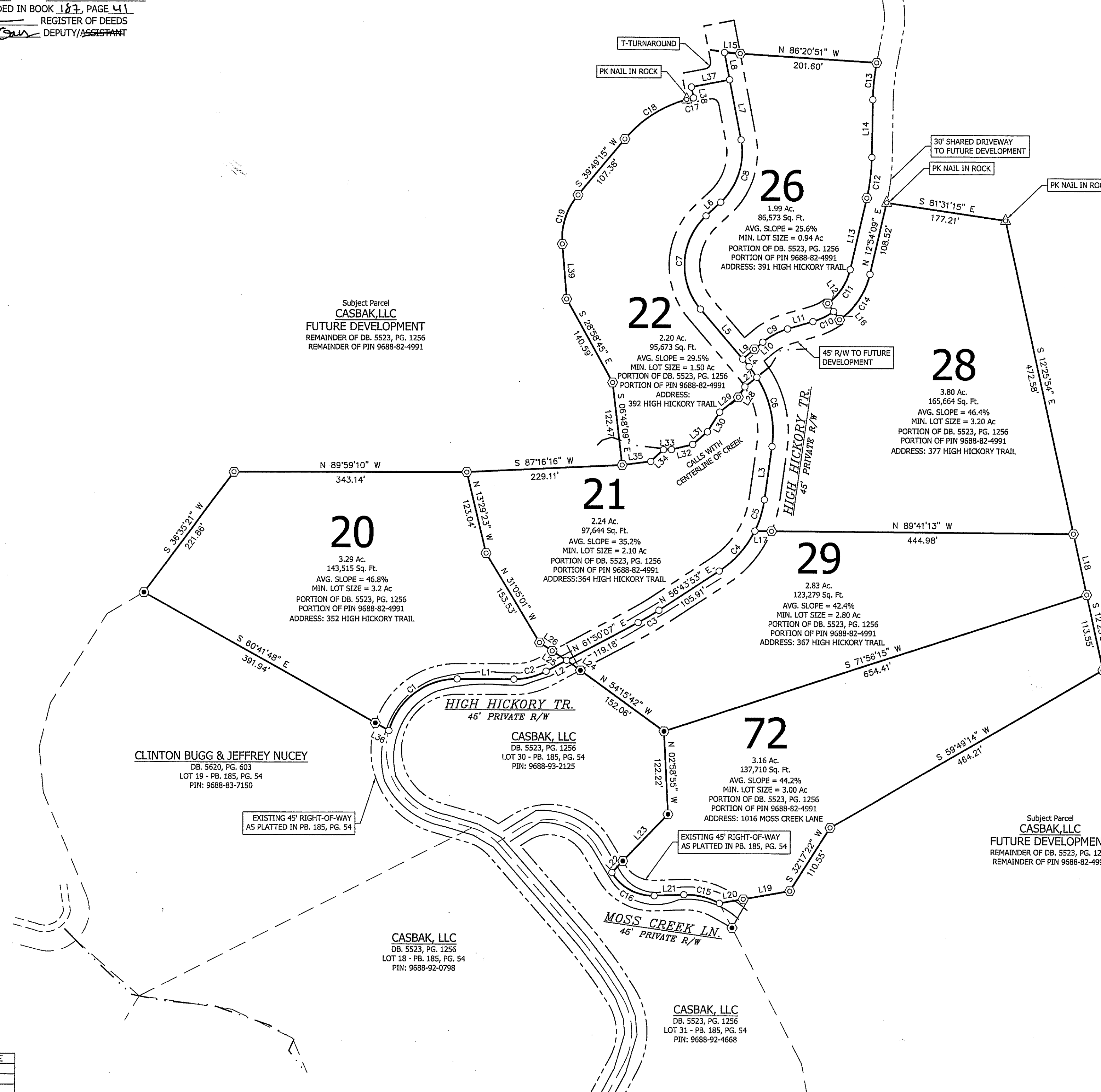
Major Subdivision:
HIGH HICKORY SUBDIVISION - PHASE 2B

SUB2004-00564
 Current Owner: Casbak, LLC
 Address: 120 High Hickory Tr., Swannanoa, NC 28778
 Deed Book 5523, Page 1256
 Plat Book 176, Page 119 & Plat Book 185, Page 54
 Tax PIN: 9688-82-4991
 Swannanoa Township Buncombe County, NC
 December 19, 2017 Scale: 1" = 100'

Rev No.	Description	Date
1	Preliminary Plat submittal for review	12-19-17
2	Final Plat submittal for review	2-19-18
3	Final Plat	2-28-18



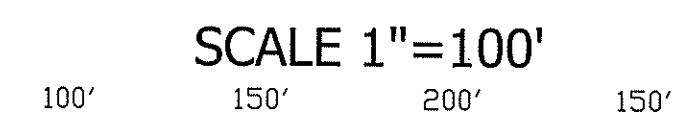
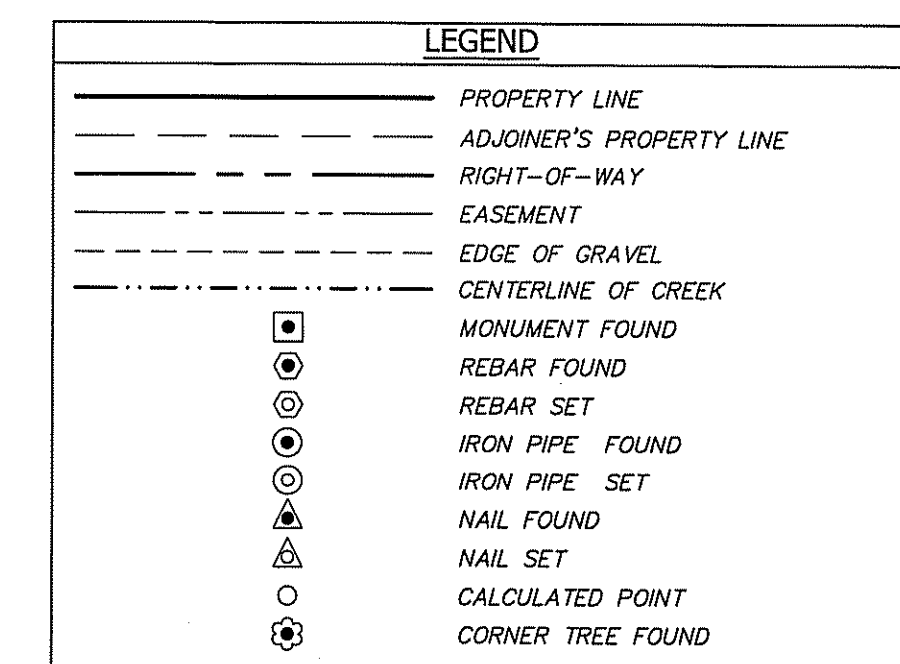
DRAWN BY: TAS CHECKED BY: PES



LINE	BEARING	DISTANCE
L1	S 89°50'41" E	83.48'
L2	N 61°50'07" E	34.28'
L3	N 07°51'24" E	79.72'
L4	N 40°19'57" W	14.49'
L5	N 40°19'43" W	96.73'
L6	N 46°44'54" E	29.59'
L7	N 10°57'05" W	89.79'
L8	N 10°57'05" W	41.00'
L9	N 49°40'15" E	22.50'
L10	N 49°40'15" E	16.21'
L11	N 73°36'11" E	38.79'
L12	N 35°59'14" W	15.00'
L13	N 12°44'44" E	98.42'
L14	N 00°46'21" E	84.80'
L15	N 86°20'51" W	23.25'
L16	S 35°59'14" E	15.00'
L17	N 89°41'13" W	24.64'
L18	S 12°23'54" E	91.88'
L19	S 79°53'15" W	69.68'
L20	S 79°53'15" W	35.54'
L21	S 87°50'48" W	43.63'
L22	N 43°35'12" E	23.32'
L23	N 43°35'12" E	96.08'
L24	N 54°15'42" W	25.05'
L25	N 56°37'06" W	25.59'
L26	N 56°37'06" W	22.41'
L27	S 50°48'29" W	22.66'
L28	S 31°47'39" W	18.08'
L29	S 31°06'34" W	35.18'
L30	S 31°48'42" W	34.12'
L31	S 49°28'07" W	28.59'
L32	S 76°14'52" W	32.17'
L33	S 89°13'35" W	11.67'
L34	S 47°07'07" W	25.71'
L35	S 82°40'18" W	42.34'
L36	S 60°41'48" E	23.03'
L37	S 79°02'55" W	57.27'
L38	S 10°57'05" E	16.17'
L39	S 04°45'19" E	81.47'

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	104.00'	135.10'	N 52°56'22" E	125.80'
C2	100.00'	49.43'	N 75°59'43" E	48.93'
C3	400.00'	35.63'	N 59°17'00" E	35.62'
C4	150.00'	79.92'	N 47°28'04" E	78.98'
C5	150.00'	48.03'	N 17°01'50" E	47.83'
C6	150.00'	126.15'	N 16°14'10" W	122.47'
C7	100.00'	151.98'	N 03°12'39" E	137.77'
C8	100.00'	100.71'	N 17°53'55" E	96.50'
C9	100.00'	41.77'	N 61°38'13" E	41.47'
C10	100.00'	34.19'	N 63°48'28" E	34.03'
C11	85.00'	60.99'	N 33°27'28" E	59.69'
C12	279.74'	70.44'	N 07°55'27" E	70.26'
C13	315.18'	54.79'	N 05°45'11" E	54.72'
C14	115.00'	82.31'	N 33°27'28" E	80.75'
C15	100.00'	94.66'	N 76°29'41" W	53.98'
C16	70.00'	74.55'	N 61°38'33" W	71.08'
C17	180.00'	10.29'	S 76°23'10" W	10.29'
C18	180.00'	109.73'	S 57°17'03" W	108.04'
C19	100.00'	77.80'	S 17°31'58" W	75.85'

HIGH HICKORY PHASE 2B SUBDIVISION CALCS													
Lot #:	Lot Area (sf):	Lot Area (ac):	Contour Length (ft):	Contour Interval:	Ave. Natural Slope:	Min. Lot Size (ac):	Lot Size OK?:	Lot Slope from Road:	Min. Frontage:	Frontage Provided:	Max Disturbed Area (ac):	Max Impervious Area (ac):	Max Impervious Area (sf):
Entire Tract	850,058	19.51	68,275	5	40.2%	2.60	YES	N/A	N/A	N/A	2,927	1,561	67,997
20	143,515	3.29	13,402	5	46.8%	3.20	YES	N/A	N/A	0.494	0.263	11,456	
21	97,644	2.24	6,862	5	35.2%	2.10	YES	N/A	N/A	0.336	0.179	7,797	
22	95,673	2.20	5,636	5	29.5%	1.50	YES	N/A	N/A	0.658	0.329	14,331	
26	86,673	1.99	4,430	5	25.6%	0.94	YES	N/A	N/A	0.596	0.298	12,981	
28	165,664	3.80	15,359	5	46.4%	3.20	YES	N/A	N/A	0.570	0.304	13,242	
29	123,279	2.83	10,426	5	42.4%	2.80	YES	N/A	N/A	0.424	0.226	9,845	
72	137,710	3.16	12,160	5	44.2%	3.00	YES	N/A	N/A	0.474	0.252	10,977	



PROJECT#: 441216